

AGENDA

**REGULAR MEETING OF THE PLANNING COMMISSION
CITY OF BELL GARDENS
CITY COUNCIL CHAMBERS, 7100 GARFIELD AVENUE
BELL GARDENS, CALIFORNIA**

**WEDNESDAY, June 21, 2017
6:00 P.M.**

Pursuant to the Americans with Disabilities Act, persons with a disability who require a disability-related modification or accommodation in order to participate in a meeting, including auxiliary aids or services, may request such modification or accommodation from the City Clerk at (562) 806-7706. Notification 48 business hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to the meeting.

COMPLETE AGENDA PACKETS ARE AVAILABLE FOR PUBLIC INSPECTION AT THE FOLLOWING LOCATIONS: *City Hall, Ross Hall Auditorium, Police Department, and Public Works Department*

PLANNING COMMISSION

Tony Rivera
Chairperson

Bartolome Carrillo
Vice- Chairperson

Jose Hernandez
Commissioner

Andrew Leon
Commissioner

CITY STAFF

Abel Avalos
Director of Community
Development

John W. Lam
Assistant City Attorney

Carmen Morales
City Planner

Erika Gutierrez
Planning Secretary

Hailes Soto
Associate Planner

I. OPENING CEREMONIES

- 1) Call to Order
- 2) Invocation
- 3) Pledge of Allegiance

II. ROLL CALL

III. APPROVAL OF MINUTES

May 17, 2017

IV. PUBLIC COMMENT

Citizens wishing to address the Commission on any matter not on the Agenda may do so at this time. Please STATE YOUR NAME AND ADDRESS CLEARLY for the record.

Please note that while the Commission values your comments, pursuant to January 1, 1987 amendments of the Brown Act, the Commission cannot respond nor take any action until such time as the matter may appear as an item on a forthcoming agenda.

V. PUBLIC HEARING

A. Planning Commission

1. **Eight Unit Apartment Development**
Site Plan Review No. 2017-021 and Variance No. 2017-021
5734 Fostoria Street
(File No. 2017-021)

Recommendation: It is recommended that the Planning Commission adopt Planning Commission Resolution #PC 2017-03 approving:

1. Site Plan Review No. 2017-021 to allow the development of an eight unit residential apartment project at 5734 Fostoria Street, Bell Gardens; and
2. Variance No. 2017-021 to allow the development of the proposed project with a reduction in the minimum common open space area required under Section 9.10.040 of the Bell Gardens Municipal Code.

Substandard Properties – None

VI. DISCUSSION ITEMS

VII. STAFF COMMENTS

VIII. COMMISSIONER COMMENTS

ADJOURNMENT

**MINUTES OF THE REGULAR MEETING OF THE
PLANNING COMMISSION OF THE CITY OF BELL GARDENS
7100 GARFIELD AVENUE, BELL GARDENS, CA 90201**

Wednesday, May 17, 2017

CALL TO ORDER

The meeting was called to order in City Hall Council Chambers by Vice-Chairperson Rivera at 6:00 p.m.

INVOCATION & PLEDGE OF ALLEGIANCE

Planning Secretary, Erika Gutierrez gave the invocation.

City Planner, Carmen Morales led the Pledge of Allegiance.

REORGANIZATION

Mrs. Gutierrez announced the Planning Commission reorganization.

Mrs. Gutierrez took nominations for the position of Chairperson. Commissioner Carrillo nominated Vice - Chairperson Rivera for Chairperson.

Mrs. Gutierrez took roll call on the nomination for Chairperson. All were in favor.

Mrs. Gutierrez took nominations for Vice - Chairperson. Commissioner Hernandez nominated Commissioner Carrillo for Vice - Chairperson.

Mrs. Gutierrez took roll call on the nomination for Vice – Chairperson. All were in favor.

ROLL CALL

Present: Commissioner Hernandez, Commissioner Leon, Vice-Chairperson Carrillo and Chairperson Rivera.

Absent: None

Staff Present: John W. Lam, Assistant City Attorney, Carmen H. Morales, City Planner, Erika Gutierrez, Planning Secretary and Samantha Lubrani, Translator

APPROVAL OF MINUTES

Ms. Gutierrez asked for a motion on the minutes of April 19, 2017. A motion was made by Vice-Chairperson Carrillo and seconded by Commissioner Hernandez to approve the minutes of April 19, 2017. Motion carried by a vote of 4-0.

PUBLIC COMMENT

With no one wishing to speak, Chairperson Rivera closed public comment.

PUBLIC HEARING

A. Planning Commission

- 1. Eight Unit Apartment Development
Site Plan Review No. 2017-022 and Variance No. 2017-022
7311 Jaboneria Road (File No. 2017-022)**

Ms. Morales gave the presentation on Conditional Use Permit No. 2017-022 and Variance No. 2017-022.

Chairperson Rivera asked the Commission if there were any comments for staff on the Public Hearing Item.

With no questions from the Commission, Chairperson Rivera opened the public hearing.

Mr. Steven Senemar, applicant and property owner of the project, approached the podium giving a brief description of the project and stated he has been working with Ms. Morales on this project.

Chairperson Rivera asked Mr. Senemar if the apartment units would be handicap accessible. Mr. Senemar stated they would be and stated that handicap parking could be used as part of the garage.

Mr. Jeff Woods on behalf of the Montebello Unified School approached the podium inquiring about the block wall that is being proposed at the property. Ms. Morales stated that new six foot high block wall would be constructed along the perimeter of the Subject Site.

Ms. Annie Tam, owner of the property located adjacent to the subject site approached the podium and asked if the other adjacent owners had been notified about the proposed project. She asked Mr. Senemar approximately how long this project would take to complete.

Mr. Senemar stated that residents within a 500' feet radius of the Subject Site were mailed a Notice of Public Hearing which gave a description of the proposed project. The Notice of Public Hearing also invited residents to attend the Planning Commission meeting to voice their opinion on this project. Mr. Senemar stated that the project construction timeline will be between eight to twelve months. Mr. Senemar further stated that at the beginning stages of the project, he had left his business card to the tenants on the adjacent properties to be able to discuss the proposed project with them. He did not receive any responses from any of the tenants.

Ms. Tam asked Mr. Senemar if the new block would be the first phase of construction. Mr. Senemar stated the first phase would be to demolish the existing structure on-site followed by the construction of the new block wall.

Commissioner Rivera stated that typically a temporary fence is placed during the construction.

Mr. Senemar briefly went over the construction phases of the project.

Hearing no one wishing to speak on the matter, Chairperson Rivera closed the public hearing.

A motion was made by Vice-Chairperson Carrillo and seconded by Commissioner Hernandez to approve Site Plan Review No. 2017-022 and Variance No. 2017-022. Motion carried by a 4-0.

B. Substandard Properties – None

DISCUSSION ITEMS – None

STAFF INFORMATION ITEMS – None

COMMISSION INFORMATION ITEMS – None

ADJOURNMENT

Chairperson Rivera made a motion to adjourn the meeting at 6:36 p.m.

RECORDED BY:

ERIKA GUTIERREZ, PLANNING SECRETARY

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**CITY OF BELL GARDENS
COMMUNITY DEVELOPMENT DEPARTMENT**

AGENDA REPORT

TO: Planning Commissioners

FROM: Abel Avalos, Director of Community Development *AA*
Carmen H. Morales, City Planner *CM*

BY: Hailes H. Soto, Associate Planner *H.S.*

SUBJECT: **Eight Unit Apartment Development
Site Plan Review No. 2017-021 and Variance No. 2017-021
5734 Fostoria Street
(File No. 2017-021)**

DATE: June 21, 2017

RECOMMENDATION:

It is recommended that the Planning Commission adopt Planning Commission Resolution #PC 2017-03 (Exhibit A) approving:

1. Site Plan Review No. 2017-021 to allow the development of an eight unit residential apartment project at 5734 Fostoria Street, Bell Gardens (Subject Site); and
2. Variance No. 2017-021 to allow the development of the project with a reduction in the minimum common open space required under Section 9.10.040 of the Bell Gardens Municipal Code.

SITE DESCRIPTION:

The Subject Site is located on the south side of Fostoria Street (Exhibit B) between Eastern Avenue and Jaboneria Road. The Subject Site is zoned R-3 (High Density Residential) with a General Plan Land Use designation of "High Density Residential." The Subject Site consists of one irregular-shaped parcel with a flat topography and a total land area of 17,575 square feet. Access to the Subject Site is gained via two existing driveways along Fostoria Street. Currently the Subject Site is developed with three single family dwelling units with an attached two-car garage (Exhibit C). The dwelling units are currently not occupied. Table No. 1 below summarizes the land uses for the Subject Site's surrounding properties.

Table No. 1. Surrounding Land Uses

North	
Zone	R-3 (High Density Residential)
General Plan	High Density Residential
Use	Fostoria Street and Residential

East	
Zone	R-3 (High Density Residential)
General Plan	High Density Residential
Use	Residential

South	
Zone	R-3 (High Density Residential)
General Plan	High Density Residential
Use	Residential

West	
Zone	R-3 (High Density Residential)
General Plan	High Density Residential
Use	Residential

PROJECT DESCRIPTION:

The Project consists of the demolition of all existing structures on the Subject Site and the construction of eight apartment units at 5734 Fostoria Street. Two detached, two-story buildings will be built and each building will have four townhome style apartment units. The apartment units range in size from 1,158 to 1,240 square feet which includes an attached 2-car garage for each unit. The four dwelling units in Building #1 will consist of three bedrooms and two and a half bathrooms. In Building #2, the two front units will consist of two bedrooms and one and a half bathrooms, and the remaining two units will consist of three bedrooms and two and a half bathrooms. A total of 16 parking spaces will be provided inside the attached garages and four open guest parking spaces will be provided on the Subject Site. Access to the Subject Site will be gained via a 24 foot wide driveway off Fostoria Street, which will allow two-way traffic and provide the required backup distance. The project also includes the construction of new block walls on the perimeter of the Subject Site along with the construction of a new driveway approach and new landscaping throughout the property and public parkway. Approval of Variance No. 2017-021 is being requested to allow less than 25% of the required common open space to be provided on the property.

ANALYSIS:

In reviewing the Applicant's request for Site Plan Review No. 2017-021 and Variance No. 2017-021, staff has conducted a thorough analysis of this matter and associated components which are set forth below.

Site Plan Review No. 2017-021

Pursuant to Chapter 9.58 of the Bell Gardens Municipal Code ("BGMC"), a Site Plan Review is established to provide a visual and factual document that may be used to determine and control the physical layout, design or use of a lot or parcel of land,

buildings or structures. A site plan is required to determine whether or not a proposed development will properly comply with the provisions and development standards prescribed in the BGMC or as determined by the Planning Commission.

Although all the issues to be considered under Site Plan Review No. 2017-021 are closely related to each other, to facilitate the analysis of the Project, the Applicant's request will be analyzed under five major components: (1) Development Standards Compliance; (2) Site Layout; (3) Floor Plan Layout; (4) Building Design, Color, and Material; and (5) Traffic and Circulation.

1. Development Standards Compliance

The Project is consistent with the R-3 (High Density Residential) zone in which it is located. All development standards including but not limited to minimum dwelling unit size, setbacks, lot coverage, and parking are met. As part of this proposal, the Applicant is also providing each unit with private open space in the form of a balcony and is providing common open space situated at the south area of the Subject Site. However, the Applicant is requesting approval of Variance No. 2017-021 to allow less than 25% of the required common open space to be provided on the property as will be analyzed below.

2. Site Layout

The Project consists of two buildings, two-stories high, fronting Fostoria Street. Both buildings consist of four attached townhome style apartment units and will be provided with a two-car garage (Exhibit D). Access to the site is gained off Fostoria Street via a 24 foot wide driveway and driveway approach located in the middle of the subject property. There are a total of 16 parking spaces to be provided inside the attached garage for each of the units. Four open guest parking spaces are positioned along the south area of the Subject Site.

A 9'-4" by 6'-8" foot trash enclosure will be located by the guest parking spaces. The Applicant will be required to construct a new six foot high block wall along the perimeter of the Subject Site. The setback areas will be landscaped throughout the property. Although deficient, the common open space will be located in the rear yard of the property.

3. Floor Plan Layout

The proposed apartment units will be two stories high. Each unit in Building #1 and two units in Building #2 consist of three bedrooms and two and a half bathrooms with an attached two-car garage (Exhibit E and Exhibit F). The two front units in Building #2 consist of two bedrooms and one and a half bathrooms with an attached two-car garage. In Building #1, the typical first floor is approximately 422 to 430 square feet of living space including a dining/living area, a kitchen, and powder room. Approximately 728 to 779 square feet is proposed for the second story consisting of three bedrooms and two bathrooms.

Each unit is designed with approximately 90 to 102 square feet of private open space in the form of a balcony.

In Building #2, the typical first floor of the two front units consists of approximately 438 to 454 square feet of living space including a dining/living area, a kitchen, and powder room. The typical first floor of the two rear units consists of approximately 438 to 440 square feet of living space including a dining/living area, a kitchen, and powder room. Approximately 724 to 802 square feet of the two front units is proposed for the second story consisting of two bedrooms, a loft and one bathroom. Approximately 745 to 771 square feet of the two rear units is proposed for the second story consisting of two bedrooms, a loft and two bathrooms. Each unit is designed with approximately 95 to 128 square feet of private open space in the form of a balcony.

4. Building Design, Color, and Material

The Applicant has worked closely with staff in creating a development that reflects the characteristics of the City and the existing adjacent developments. The proposed project has been designed to incorporate a combination of traditional architecture including the use of stucco-finished walls, wood siding, tiled roofs, and brick veneer (Exhibit G, Exhibit H, Exhibit I and Exhibit J). The balconies are fabricated out of wood and wrought iron. The final selection of colors and materials will be subject to review and approval by the Community Development Department.

5. Traffic and Circulation

The site accommodates a total of 20 parking spaces that are accessible from the primary drive aisle and driveway. A total of 16 parking spaces are provided in the form of garages attached to each apartment unit and four open parking spaces are provided for guest parking. Ingress and egress is gained to the property via a 24 foot wide driveway and driveway approach off Fostoria Street.

Both the City Engineer and the Los Angeles County Fire Department have reviewed the proposed project and have issued comments relating to access of the site. Furthermore, the project will be required to meet all access and fire flow requirements.

Variance No. 2017-021

Pursuant to Chapter 9.50 of the Bell Gardens Municipal Code, the Variance procedure provides some flexibility in the application of development standards when special circumstances exist pertaining to the size, shape, topography, or location of a site which deprives the property of privileges enjoyed by other properties in the vicinity and in the same zoning district. Variances are intended to resolve practical difficulties caused by the physical characteristics of the property and are not intended to constitute a granting of special privileges. Variances may not be granted to allow uses not otherwise

permitted in a zone, nor to allow exceptions to density standards, as such authority is precluded by State law. The Planning Commission may grant Variances from the development standards of the Bell Gardens Municipal Code pertaining to the regulations of site features such as parking, landscaping, setbacks, walls, building height, signs, open space, lot coverage and site area.

As previously discussed, Variance No. 2017-021 is being requested to allow less than 25% of the required common open space to be provided on the property. The proposed development is consistent with the R-3 (High Density Residential) zone in which it is located. The Bell Gardens Municipal Code establishes development standards for every respective zone which includes density, height limits, maximum lot coverage, parking, common and private open space requirements, etc.

The Applicant is proposing to develop eight residential apartment units on the subject site with less than the minimum percentage of common open space. BGMC Section 9.10.040 requires common open space areas located within a residential project to be a minimum of 25 percent of the gross project area. The common open space area needs to be designed for the benefit and use of all residents of the project. Based on the total square footage of the subject site, 17,575 square feet, a minimum of 4,393.75 square feet, (25 percent) would have to be provided on the property as common open space for the use of the residents. The Applicant is proposing to provide 2,195 square feet (12.4 percent) which represents approximately 2,198.75 square feet less than required.

The Subject Site is irregular in shape as it widens at the rear of the project. Within the common open space, the Applicant proposes to provide landscaped area for the use and enjoyment of the residents of the property. In addition, the proposed site layout will provide each unit with approximately 90-128 square feet of private open space on the second floor balcony, which is approximately 15-53 square feet more than the minimum of 75 square feet. The proposed project will be developed in accordance with all applicable development standards specified in the Bell Gardens Municipal Code.

The Applicant has requested approval of Site Plan Review No. 2017-021 which, if approved, will allow the proposed development on the Subject Site. After thorough analysis, staff finds that all applicable information required per Section 9.58.050 has been submitted and all standards of development per Section 9.10.040, Table 9.10B have been met. Staff supports granting approval of Variance No. 2017-021 based on the fact that the improvements proposed on the Subject Site will provide additional housing. Site Plan Review No. 2017-021 and Variance No. 2017-021 must both be approved by the Planning Commission since the Site Plan Review can only be in full compliance with all of the provisions of the Bell Gardens Municipal Code if the Variance is approved to allow the deviation from BGMC Section 9.10.040.

FINDINGS:

Site Plan Review No. 2017-021

Approval or disapproval of any site plan shall be used upon the following findings and principles and set forth in Section 9.58.060 of the Bell Gardens Municipal Code:

1. **That every use, development of land and application of development standards shall take place in compliance with all applicable provisions of this Ordinance.**

Finding: The proposed use, development of land and application of development standards shall take place in compliance with all applicable provisions of this Ordinance because the Project is consistent with the R-3 (High Density Residential) zone. Moreover, as mentioned in the analysis section of this staff report, the Project will be developed in accordance with all development standards located in Table 9.10A: Residential Land Use Matrix of the Zoning Code including density, setbacks, lot coverage, and parking.

2. **That every use, development of land, and application of development standards shall be considered on the basis of the suitability of this site for the particular use or development intended.**

Finding: Every use, development of land, and application of development standards shall be considered on the basis of the suitability of this site for the particular use or development intended because Staff has analyzed the proposed project and has determined that the project is consistent with the provisions of the R-3 Zone in which the Subject Site is located. All existing structures will be demolished in order to accommodate the proposed eight new units designed at the allowable density of no more than thirty units per acre. Adjacent properties to the north, south, west, and east are developed with similar uses. Moreover, the proposed Project is consistent with the General Plan Land Use designation of High Density Residential. Therefore, the subject site is suitable for the particular use/development intended.

3. **That the total development, including the application of prescribed development standards, shall be so arranged as to avoid traffic congestion, ensure the protection of public health, safety and general welfare, and prevent adverse effects on neighboring property and shall be in general accord with all elements of the General Plan.**

Finding: The total development, including the application of prescribed development standards, shall be so arranged as to avoid traffic congestion, ensure the protection of public health, safety and general welfare, prevent adverse effects on neighboring property because the proposed project has been designed to ensure the proper on-site and off-site circulation and is consistent with the General Plan Land Use designation of "High Density Residential." To

that end, access to the site is gained via a proposed 24 foot wide driveway and driveway approach off Fostoria Street with sufficient parking for tenants and their guests designed to reduce the amount of off-site parking. Fostoria Street is designated as a Local Street in the General Plan Circulation Element and is adequate in width to accommodate on-site and off-site circulation for forecasted traffic. Moreover, all agencies reviewed the proposed Project and, in certain cases, issued conditions of approval, all of which have been incorporated into Planning Commission Resolution PC #2017-03.

- 4. That every use, development of land and application of development standards shall be considered on the basis of suitable and functional development design, but it is not intended that such approval be interpreted to require a particular style or type of architecture.**

Finding: Every use, development of land and application of development standards have been considered on the basis of suitable and functional development design for this project. Staff worked with the applicant to ensure every use, development of land and application of development standards is considered on the basis of suitable and functional development design. Specifically, staff worked with the architect to create a design that will not only enhance the overall appearance of the area but is consistent with the overall style of architecture within the City. Adjacent residential uses are similarly developed with multi-family dwelling units.

Variance No. 2017-021

Approval or disapproval of any Variance shall be based upon the following factors and principles as set forth in Section 9.50.060 of the Bell Gardens Municipal Code:

- 1. That the variance is necessary for the preservation of a substantial property right of the owners, and that such variance will not be materially detrimental to the public welfare nor to the property of other persons located in the vicinity thereof.**

Finding: The requested variance is necessary for the preservation of a substantial property right of the owner, and will not be materially detrimental to the public welfare nor to the property of other persons located in the vicinity. Section 9.20.140 of the City of Bell Gardens Municipal Code establishes standards for the development of residential condominium projects in the City. Among the development standards, a minimum of 25 percent of the gross project area shall be set aside, developed and maintained as common open space for the benefit and use of all residents of the project. Based on the size of the subject site, a minimum of 4,393.75 square feet shall be designated as common open space. The project, as proposed by the Applicant, will provide a total of 2,195 square feet, approximately 12.4 percent of the project area (2,198.75 square feet less than required by Code). The designated common open space will be provided with an open greenbelt for the enjoyment of the residents of the

project. Additionally, the site layout will provide each dwelling unit with 90 to 128 square feet of private open space in the form of a second story balcony.

- 2. That there are special circumstances applicable to the property, including size, shape, topography, location or surroundings in which the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.**

Finding: The Subject Site is approximately 17,575 square feet in size and irregular in shape as it widens at the rear of the project. Residential lots located within the immediate vicinity of the subject site vary in size and density. Some of these properties do not comply with all the provisions contained in Section 9.10.040 of the City of Bell Gardens Municipal Code. The Applicant proposes the development of eight apartment units on the Subject Site. Based on the lot size, the Applicant proposes to build larger units that are more spacious. As such, the Applicant is only able to provide approximately half of the required common open space on the project site. The requested variance is necessary for the preservation and enjoyment of a substantial property right or use generally possessed by other properties in the same zoning designation and immediate vicinity and does not represent the granting of a special privilege.

- 3. That the variance shall not constitute a grant of special privilege inconsistent with the limitations upon other property in the vicinity and zone in which such property is located.**

Finding: Granting the variance shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which the subject site is located. The proposed development is consistent with all the development standards for the R-3 Zoning Designation with the exception of the percentage of common open space required for the project. Variance No. 2017-021 is requested to allow the development of the project with a reduction on the common open space percentage from the required 25 percent to 12.4 percent. Residential lots located within the immediate vicinity of the subject site vary in size and density. Some of these properties do not comply with all the provisions contained in Section 9.10.040 of the City of Bell Gardens Municipal Code. Due to the irregular shape of the lot, the square footage of the common open space falls short by 2,198.75 square feet. The strict application of the Code will deprive this property from privileges enjoyed by other residential properties in the vicinity and under identical zoning designation.

- 4. That the variance shall not be granted for a parcel or property that authorizes a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.**

Finding: The Bell Gardens Municipal Code designates the Subject Site R-3 (High Density Residential) which permits residential apartment units. The proposed project will not constitute a use or activity which is not otherwise authorized by the zoning district in which it is located.

5. **That there are practical difficulties or unnecessary hardships in the way of carrying out the strict letter of the ordinance; and in granting such variance, the spirit of the ordinances will be observed, public safety will be secured, and substantial justice will be done.**

Finding: There are practical difficulties or unnecessary hardships in the way of carrying out the strict letter of the ordinance; and in granting such variance, the spirit of the ordinance will be observed, public safety will be secured, and substantial justice will be done because the proposed eight unit apartment project will be developed in accordance with all the required development standards for the R-3 Zoning Designation except for the percentage of the common open space required by Code. The project as proposed by the Applicant falls short of the required common open space area by 2,198.75 square feet. Therefore, approval of a variance is being requested for the relief from the strict application of the Code. If Variance No. 2017-021 is not granted, the only option available to the applicant would be to further reduce the density on the Subject Site. The proposed project will provide 2,195 square feet of common open space, 90-128 square feet for private open space for each unit, which is 15-53 square feet more than the minimum of 75 square feet.

ENVIRONMENTAL REVIEW:

In accordance with the provisions and guidelines of the California Environmental Quality Act ("CEQA"), the project qualifies for a Class 32 Categorical Exemption pursuant to Section 15332 (In-Fill Development) and a Class 3 Categorical Exemption pursuant to Section 15303(b) (New Construction or Conversion of Small Structures) of the State CEQA Guidelines. The proposed project is (1) consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designation and regulations because the property is zoned R-3 and the proposed residential development is consistent with the R-3 zoning designation, the Land Use Element, and the Housing Element; (2) the proposed project occurs within the City limits and the project site is only 17,575 square feet; (3) the project site is currently developed with three single family dwelling units with an attached two-car garage in a fully urbanized area and has no value as habitat or endangered, rare, or threatened species; (4) the approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (5) the site can be adequately served by all required utilities and public services. The proposed project consists of only eight residential apartment units located on a site that is in an urbanized area.

CONCLUSION:

The development of the Property will allow the City to achieve several objectives. First, the construction of the project will increase the amount of housing stock in the City and will also enhance the general appearance of the neighborhood. Second, the project will

be developed in accordance to Section 9.10.040 (High Density Residential) of the Bell Gardens Municipal Code with respect to lot coverage, landscaping, density, building height, off-street parking and setbacks. Moreover, the Project will meet the communities need for multi-family housing.

The proposed project has been routed to all public agencies and City departments for review. The Building & Safety and Police Departments have commented that they have no objection to the proposed project. The Los Angeles County Fire Department has granted preliminary approval of the site plan layout. Planning Commission Resolution #PC 2017-03 contain conditions of approval that address any concerns from the various agencies and City departments.

FISCAL IMPACT:

None.

ATTACHMENTS:

- Exhibit A – Resolution #PC 2017-03
- Exhibit B – Vicinity Map (with 500-foot Radius Map)
- Exhibit C – Existing Site Plan
- Exhibit D – Proposed Site Plan
- Exhibit E – Floor Plan (Building 1)
- Exhibit F – Floor Plan (Building 2)
- Exhibit G – Elevations and Roof Plan (Building 1)
- Exhibit H – Elevations and Roof Plan (Building 2)
- Exhibit I – Renditions (Building 1)
- Exhibit J – Renditions (Building 2)
- Exhibit K – Public Hearing Notice

EXHIBIT A

**Resolution
#PC 2017-03**

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RESOLUTION #PC 2017-03

**A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF BELL GARDENS APPROVING SITE PLAN REVIEW NO. 2017-021
AND VARIANCE NO. 2017-021
(File No. 2017-021)**

WHEREAS, the applicant and property owner, Kathleen Ea of Fostoria Gardens, LLC, has requested the approval of Site Plan Review No. 2017-021 and Variance No. 2017-021 to allow the development of eight apartment units at 5734 Fostoria Street ("Property") in the City of Bell Gardens ("City");

WHEREAS, the Subject Site is presently zoned R-3 (High Density Residential) and the General Plan Land Use Designation is "High Density Residential";

WHEREAS, the lot is irregular in shape and thus it is difficult to accommodate all of the required development standards;

WHEREAS, the project will be developed with a reduction in the minimum common open space required under Section 9.10.040 of the Bell Gardens Municipal Code;

WHEREAS, on June 21, 2017, the Planning Commission held a public hearing and has fully reviewed and considered all facts and evidence, both written and testimonial, pertaining to Site Plan Review No. 2017-021 and Variance No. 2017-021.

NOW, THEREFORE, THE PLANNING COMMISSION DOES HEREBY RESOLVE AND DETERMINE AS FOLLOWS:

SECTION 1. The above recitals are true and correct and are incorporated herein.

SECTION 2. Pursuant to Title 9, Section 9.58.060 of the Bell Gardens Municipal Code, the Planning Commission makes the following findings in support of the proposed Site Plan Review to allow for the development of eight apartment units on the Subject Site based on the following findings:

- a. **That every use, development of land and application of development standards shall take place in compliance with all applicable provisions of this Ordinance.**

Finding: The proposed use, development of land and application of development standards shall take place in compliance with all applicable provisions of this Ordinance because the Project is consistent with the R-3 (High Density Residential) zone. Moreover, as mentioned in the analysis section of this staff report, the Project will be developed in accordance

with all development standards located in Table 9.10A: Residential Land Use Matrix of the Zoning Code including density, setbacks, lot coverage, and parking.

- b. **That every use, development of land, and application of development standards shall be considered on the basis of the suitability of this site for the particular use or development intended.**

Finding: Every use, development of land, and application of development standards shall be considered on the basis of the suitability of this site for the particular use or development intended because Staff has analyzed the proposed project and has determined that the project is consistent with the provisions of the R-3 Zone in which the Subject Site is located. All existing structures will be demolished in order to accommodate the proposed eight new units designed at the allowable density of no more than thirty units per acre. Adjacent properties to the north, south, west, and east are developed with similar uses. Moreover, the proposed Project is consistent with the General Plan Land Use designation of High Density Residential. Therefore, the subject site is suitable for the particular use/development intended.

- c. **That the total development, including the application of prescribed development standards, shall be so arranged as to avoid traffic congestion, ensure the protection of public health, safety and general welfare, and prevent adverse effects on neighboring property and shall be in general accord with all elements of the General Plan.**

Finding: The total development, including the application of prescribed development standards, shall be so arranged as to avoid traffic congestion, ensure the protection of public health, safety and general welfare, prevent adverse effects on neighboring property because the proposed project has been designed to ensure the proper on-site and off-site circulation and is consistent with the General Plan Land Use designation of "High Density Residential." To that end, access to the site is gained via a proposed 24 foot wide driveway and driveway approach off Fostoria Street with sufficient parking for tenants and their guests designed to reduce the amount of off-site parking. Fostoria Street is designated as a Local Street in the General Plan Circulation Element and is adequate in width to accommodate on-site and off-site circulation for forecasted traffic. Moreover, all agencies reviewed the proposed Project and, in certain cases, issued conditions of approval, all of which have been incorporated into Planning Commission Resolution PC #2017-03.

- d. **That every use, development of land and application of development standards shall be considered on the basis of suitable and functional**

development design, but it is not intended that such approval be interpreted to require a particular style or type of architecture.

Finding: Every use, development of land and application of development standards have been considered on the basis of suitable and functional development design for this project. Staff worked with the applicant to ensure every use, development of land and application of development standards is considered on the basis of suitable and functional development design. Specifically, staff worked with the architect to create a design that will not only enhance the overall appearance of the area but is consistent with the overall style of architecture within the City. Adjacent residential uses are similarly developed with multi-family dwelling units.

SECTION 3. Pursuant to Title 9, Section 9.50.060 of the Bell Gardens Municipal Code, which sets forth the findings necessary for approving a Variance, the Planning Commission finds:

- a. **That the variance is necessary for the preservation of a substantial property right of the owners, and that such variance will not be materially detrimental to the public welfare nor to the property of other persons located in the vicinity thereof.**

Finding: The requested variance is necessary for the preservation of a substantial property right of the owner, and will not be materially detrimental to the public welfare nor to the property of other persons located in the vicinity. Section 9.20.140 of the City of Bell Gardens Municipal Code establishes standards for the development of residential condominium projects in the City. Among the development standards, a minimum of 25 percent of the gross project area shall be set aside, developed and maintained as common open space for the benefit and use of all residents of the project. Based on the size of the subject site, a minimum of 4,393.75 square feet shall be designated as common open space. The project, as proposed by the Applicant, will provide a total of 2,195 square feet, approximately 12.4 percent of the project area (2,198.75 square feet less than required by Code). The designated common open space will be provided with an open greenbelt for the enjoyment of the residents of the project. Additionally, the site layout will provide each dwelling unit with 90 to 128 square feet of private open space in the form of a second story balcony.

- b. **That there are special circumstances applicable to the property, including size, shape, topography, location or surroundings in which the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.**

Finding: The Subject Site is approximately 17,575 square feet in size and irregular in shape as it widens at the rear of the project. Residential lots located within the immediate vicinity of the subject site vary in size and density. Some of these properties do not comply with all the provisions contained in Section 9.10.040 of the City of Bell Gardens Municipal Code. The Applicant proposes the development of eight apartment units on the Subject Site. Based on the lot size, the Applicant proposes to build larger units that are more spacious. As such, the Applicant is only able to provide approximately half of the required common open space on the project site. The requested variance is necessary for the preservation and enjoyment of a substantial property right or use generally possessed by other properties in the same zoning designation and immediate vicinity and does not represent the granting of a special privilege.

- c. **That the variance shall not constitute a grant of special privilege inconsistent with the limitations upon other property in the vicinity and zone in which such property is located.**

Finding: Granting the variance shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which the subject site is located. The proposed development is consistent with all the development standards for the R-3 Zoning Designation with the exception of the percentage of common open space required for the project. Variance No. 2017-021 is requested to allow the development of the project with a reduction on the common open space percentage from the required 25 percent to 12.4 percent. Residential lots located within the immediate vicinity of the subject site vary in size and density. Some of these properties do not comply with all the provisions contained in Section 9.10.040 of the City of Bell Gardens Municipal Code. Due to the irregular shape of the lot, the square footage of the common open space falls short by 2,198.75 square feet. The strict application of the Code will deprive this property from privileges enjoyed by other residential properties in the vicinity and under identical zoning designation.

- d. **That the variance shall not be granted for a parcel or property that authorizes a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.**

Finding: The Bell Gardens Municipal Code designates the Subject Site R-3 (High Density Residential) which permits residential apartment units. The proposed project will not constitute a use or activity which is not otherwise authorized by the zoning district in which it is located.

- e. **That there are practical difficulties or unnecessary hardships in the way of carrying out the strict letter of the ordinance; and in granting such variance, the spirit of the ordinances will be observed, public safety will be secured, and substantial justice will be done.**

Finding: There are practical difficulties or unnecessary hardships in the way of carrying out the strict letter of the ordinance; and in granting such variance, the spirit of the ordinance will be observed, public safety will be secured, and substantial justice will be done because the proposed eight unit apartment project will be developed in accordance with all the required development standards for the R-3 Zoning Designation except for the percentage of the common open space required by Code. The project as proposed by the Applicant falls short of the required common open space area by 2,198.75 square feet. Therefore, approval of a variance is being requested for the relief from the strict application of the Code. If Variance No. 2017-021 is not granted, the only option available to the applicant would be to further reduce the density on the Subject Site. The proposed project will provide 2,195 square feet of common open space, 90-128 square feet for private open space for each unit, which is 15-53 square feet more than the minimum of 75 square feet.

SECTION 4. The Planning Commission hereby finds this project to be in compliance with the provisions and guidelines of the California Environmental Quality Act ("CEQA") and certifies that the project qualifies for a Class 32 Categorical Exemption pursuant to Section 15332 (In-Fill Development) and a Class 3 Categorical Exemption pursuant to Section 15303(b) (New Construction or Conversion of Small Structures) of the State CEQA Guidelines. The proposed project is (1) consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designation and regulations because the property is zoned R-3 and the proposed residential development is consistent with the R-3 zoning designation, the Land Use Element, and the Housing Element; (2) the proposed project occurs within the City limits and the project site is only 17,575 square feet; (3) the project site is currently developed with three single family dwelling units with an attached two-car garage in a fully urbanized area and has no value as habitat or endangered, rare, or threatened species; (4) the approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (5) the site can be adequately served by all required utilities and public services. The proposed project consists of only eight residential apartment units located on a site that is in an urbanized area.

SECTION 5. Site Plan Review No. 2017-021 and Variance No. 2017-021 are hereby approved to allow for the development of eight apartment units on the Subject Site, subject to the following Conditions of Approval:

1. The property shall be improved and maintained in accordance with;

- a. All application material on file in the Planning Division and Exhibits A through K included in the staff report and incorporated herein by this reference.
 - b. All applicable laws, including but not limited to the Bell Gardens Municipal Code and the Bell Gardens Zoning Ordinance.
 - c. All conditions of approval as set forth in this Planning Commission Resolution for Site Plan Review No. 2017-021 and Variance No. 2017-021.
2. All conditions stated herein shall be binding upon the Applicants, their successors and assigns; shall run with the land; shall limit and control the issuance and validity of certificates of occupancy; and shall restrict and limit the construction, location, use and maintenance of all land and structures adjacent to or within the subject property.
 3. Site Plan Review No. 2017-021 and Variance No. 2017-021 and all rights hereunder shall terminate within one (1) year of the effective date of the permit, unless operations are commenced or a written time extension is granted by the Planning Commission based on a written request submitted to the Bell Gardens Community Development Department prior to the expiration of the one (1) year period as provided in Section 9.50.160 of the Bell Gardens Municipal Code.
 4. The abandonment or non-implementation of the conditions stated in the Site Plan Review and Variance for a consecutive period of one (1) year shall terminate the Permit, and any privileges granted thereunder shall become null and void.
 5. In the event of transfer of ownership of the property involved in this application, the new owner shall be fully informed in writing of this use and development of said property as set forth by this permit together with all conditions, which are a part thereof.
 6. Violation of any of the conditions of this approval shall be cause for revocation and termination of all rights hereunder.
 7. The Director of Community Development and/or his/her designee are hereby authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same result as would strict compliance with said plans and conditions.
 8. The property shall be developed and maintained in a neat, quiet and orderly condition and operated in a manner so as not to be detrimental to adjacent properties and occupants.

9. Graffiti on buildings, walls, and other associated equipment or other private property shall be removed within 48 hours of its discovery. If painting is required, the paint shall match existing color.

Construction Measures

10. Hours and days of construction and grading shall be as follows: Monday through Saturday, not before 8:00 A.M. and not after 7:00 P.M. of the same day. No construction or grading of the site shall take place on Sundays and holidays.
11. The construction activities within the portion of the development site shall comply with the City's noise control regulations.
12. Vehicles associated with the construction of the proposed project shall not be permitted to park on the public right-of-way.
13. The construction of the project shall conform to the provisions contained in the California Building Code.
14. The Applicant shall obtain all required permits from the City of Bell Gardens Building and Safety Division prior to commencing construction of the project.
15. Storage of building materials related to construction activities shall be contained within the project site.
16. Contractors and subcontractors engaged in the construction activities of the project shall obtain a business license and all required permits from the City of Bell Gardens.
17. A six foot high chain link fence and gate shall be installed around the perimeter of the property during the entire construction and demolition of existing structures on the project. The gate shall be closed and locked after construction hours.

Building / Site Improvements

18. All on-site electrical service connections to the proposed development shall be installed underground. If transformers are required, they shall be placed in underground vaults. The Applicant is responsible for contacting Southern California Edison and arranging electrical service at the appropriate stage of construction. Installation is subject to approval of the Customer Service Planner at Southern California Edison Company.
19. All on-site cable television service connections to each apartment unit shall be installed underground. Cable shall be provided at a minimum of three locations within the dwelling units. All cable and connectors shall be screened completely from view within the building served. Visible cabinet and boxes

shall be treated to match the materials and colors of the building. The Applicant is responsible for contacting the cable provider and arranging cable installation at the appropriate stage of construction. Type and location of cable installation is subject to approval of the Construction Coordinator of the City's Cable Franchisee.

20. All on-site gas service connections to each apartment unit shall be installed underground. All surface or ground mounted gas meters and mechanical equipment shall be screened from public view and treated to match the materials and colors of the building. The installation is subject to approval of the Southern California Gas Company.
21. Prior to the issuance of a building permit, the Applicant shall be responsible for contacting, and complying with the conditions imposed by Southern California Edison, Golden State Water Company, L.A. County Sanitation District and the Los Angeles County Fire Department.

LA County Fire Department

22. The applicant shall conform to all specifications and standards from the Los Angeles County Fire Department and shall secure all required approvals and permits prior to commencing the construction of the project.

Public Works Department

23. Prior to commencing construction of the project, the Applicant shall obtain approval for the connection to the Sanitary Sewer System.
24. The Applicant shall comply with all requirements according to the NPDES rules.
25. The Applicant shall submit to the Public Works Department detailed engineering plans indicating all on-site and off-site improvements. The off-site improvements shall include the construction the removal and replacement of standard sidewalks, driveways, ADA ramps, curbs and gutters.
26. The existing public parkway sidewalk and curb and gutter needs to be field reviewed by the City Engineer's Office to determine the condition of the right-of-way. Any damage to existing sidewalk, curb, gutter, and adjacent pavement along the front of the property shall be reconstructed per City standards and subject to the approval by the Public Works Department.
27. A new driveway and driveway approach shall be constructed with a minimum of six inch concrete in accordance to City Standards. Removal of the existing driveway approach and the construction of new driveway and driveway approach shall conform to City standards and shall be subject to permits and approval by the Public Works Department.

28. The Applicant shall obtain permits from the Department of Public Works/Engineering prior to all off-site improvement work.

Landscaping

29. Prior to the issuance of a building permit, the Applicant shall submit to the Community Development Department four sets of landscaping and irrigation plans prepared by a licensed landscape architect.
30. The Applicant shall be responsible for the payment of all landscaping and irrigation plan check fees. Payment of said fees shall be made to the City at the time of plan submittal to the Community Development Department.
31. A permanent automatic landscaping irrigation system shall be installed for all landscaped areas. Details of the proposed irrigation system shall be included as part of the plans to be submitted for review to the Community Development Department. A separate electrical and water meter shall be installed for all common areas.
32. All designated landscaped areas shall be fully planted prior to the issuance of a building final and Certificate of Occupancy by the City. The type, number, size, and location of all planting material, including but not limited to trees, shrubs, groundcover and sod shall be subject to review and approval of the Community Development.
33. Two twenty four inch (24") box trees shall be planted in the parkway area located in front of the subject site as per City standards. The tree specimen shall be approved by the Public Works Department.

Fence/Walls

34. A six foot high double side split face block wall fence shall be constructed along both sides and rear property lines of the site. The height of the wall shall be decreased to 42 inches in height if located within the required front yard setback area. The Applicant shall work closely with staff to redesign the fence proposed within the front yard of the Subject Site. The redesigned front yard fence shall not include a vehicular gate. The new walls shall be provided with a concrete cap of the same color and material as the block walls. The type and color of the block and wrought iron fencing material shall be subject to review and approval by the Community Development Department. The block wall shall be constructed in accordance to the Bell Gardens Municipal Code. The height of all new walls shall be measured from the highest finished grade level on either side of the property line.
35. The Applicant shall work closely with the Community Development Department staff to address any finished grade differences between the Subject Site and the public right-of-way in order to determine the final height of all fences.

36. Prior to the issuance of a building permit, the Applicant shall submit three sets of fence plans to the Community Development Department for review and approval. The plans shall include details on the construction of all block wall fences and gates proposed on the property.
37. The Applicant shall obtain all permits from the City prior to the construction of all new fences and gates. The height of the all new fences shall be measured from the highest finished grade level on either side of the property line.

Parking / Driveway

38. Guest parking spaces shall be striped in accordance to City Standards. The new driveway and guest parking space area shall be constructed of concrete. Guest parking spaces shall be provided with a concrete wheel stop at the front of the stall.
39. Decorative colored concrete bands shall be placed at different locations along the driveway for accents. The final design selection layout and material selection to be utilized on the driveway surface shall be subject to review and approval by the Community Development Department.

Architecture

40. All outdoor lighting shall be shielded, directed downward, and have sharp cutoff qualities at property lines, in order to minimize light spillover effects and glare onto neighboring properties. The Applicant shall submit copies of manufacturer's brochure for all light fixtures proposed on the Subject Site to the Community Development Department for review and approval prior to the issuance of building permits by the City.
41. The exterior elevations of the building shall be provided with stucco finish, stone veneer, s-type tile roofs, wrought iron accent, and foam moldings. Final selection of color and material to be use on the building shall be subject to review and approval by the Community Development Department.
42. The second floor balconies proposed on all units shall be restricted to serve as private open space for the residents of these units and shall not be utilized for outdoor storage at any time.
43. Any outside utility equipment such as gas meters, water heater, etc. shall be screened from public view and shall not be visible from the public right-of-way. If the utility equipment is enclosed, the structure shall be painted to match the exterior color of the new dwelling units on the property.
44. Vents, flashing, pipes and water heater enclosures shall be painted with the same color as the surface to which they are attached to and in accordance with the approved color and material sample board.

45. The doors to be installed on the proposed garages shall be of a "Sectional" type and provided with an automatic door opening mechanism. The design of the doors shall compliment the overall architectural design of the new dwelling units proposed on the subject site.
46. All trash enclosures shall be constructed with a six foot high split face concrete block wall and shall match the proposed perimeter walls. A six foot high solid metal gate shall be installed and provided with a self-closing and self-latching mechanism. The top of the enclosure structure shall be protected with a solid metal trellis and painted the same color as the building. The final location and design of the trash enclosure shall be subject to the approval of the Community Development Department.
47. The Applicant shall work closely with the United State Postal Office and the Community Development Department in developing the exact location and type of mailboxes to be installed on the property. The location and type of mailboxes shall be subject to the approval of the Community Development Department.

Miscellaneous

48. All required site improvements indicated on the approved plans and this Resolution shall be completed prior to final inspection by the City.
49. The project site shall be cleared of all debris prior to the issuance of a final building inspection by the City.
50. The Applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers, and employees from any claim, action, or proceeding (collectively referred to as "Proceedings") brought against the City, its elected and appointed officials, agents, officers, or employees arising out of, or which are related to the Applicant's project or application. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities, and expenses incurred in connection with the Proceedings whether incurred by the Applicant, the City and/or the parties initiating or bringing such Proceedings. This indemnity provision shall include the Applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth herein. The City shall have the right to choose its own legal counsel to represent the City's interest in the Proceedings.
51. The Applicant shall sign, notarize, and return to the Community Development Department an affidavit accepting all Conditions of Approval on Site Plan Review No. 2017-021 and Variance No. 2017-021 within 15 days from the date of approval of the Planning Commission Resolution #PC 2017-03. The Applicant acknowledges and understands that all conditions set forth in this

Resolution are conditions precedent to the Commission's grant of approval and failure to comply with any condition contained herein shall render this Site Plan Review and Variance non-binding as against the City and shall confer the Applicant no legal rights under the law.

SECTION 5. The Commission Secretary shall certify to the passage and adoption of this Resolution and it shall become effective immediately upon its approval.

PASSED, APPROVED AND ADOPTED this 21st day of June, 2017.

TONY RIVERA, CHAIRPERSON

ATTEST:

ERIKA GUTIERREZ, SECRETARY

APPROVED AS TO FORM:

JOHN LAM, ASSISTANT CITY ATTORNEY

EXHIBIT B

Vicinity Map (with 500-foot Radius Map)

VICINITY MAP

Site Plan Review No. 2017-021 & Variance No. 2017-021
5734 Fostoria Street
(File No. 2017-021)

Subject Site

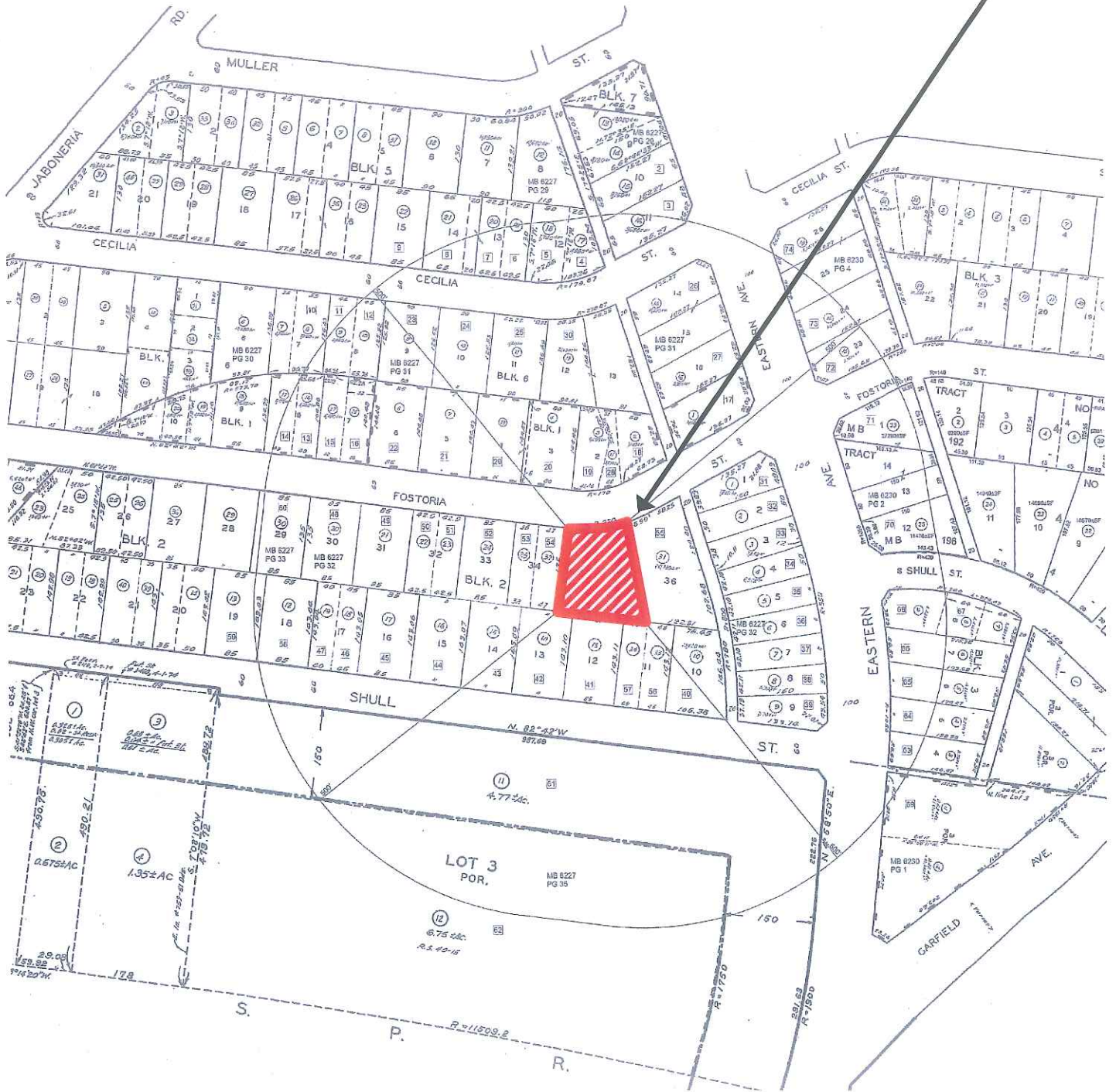
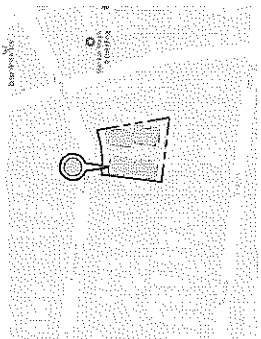
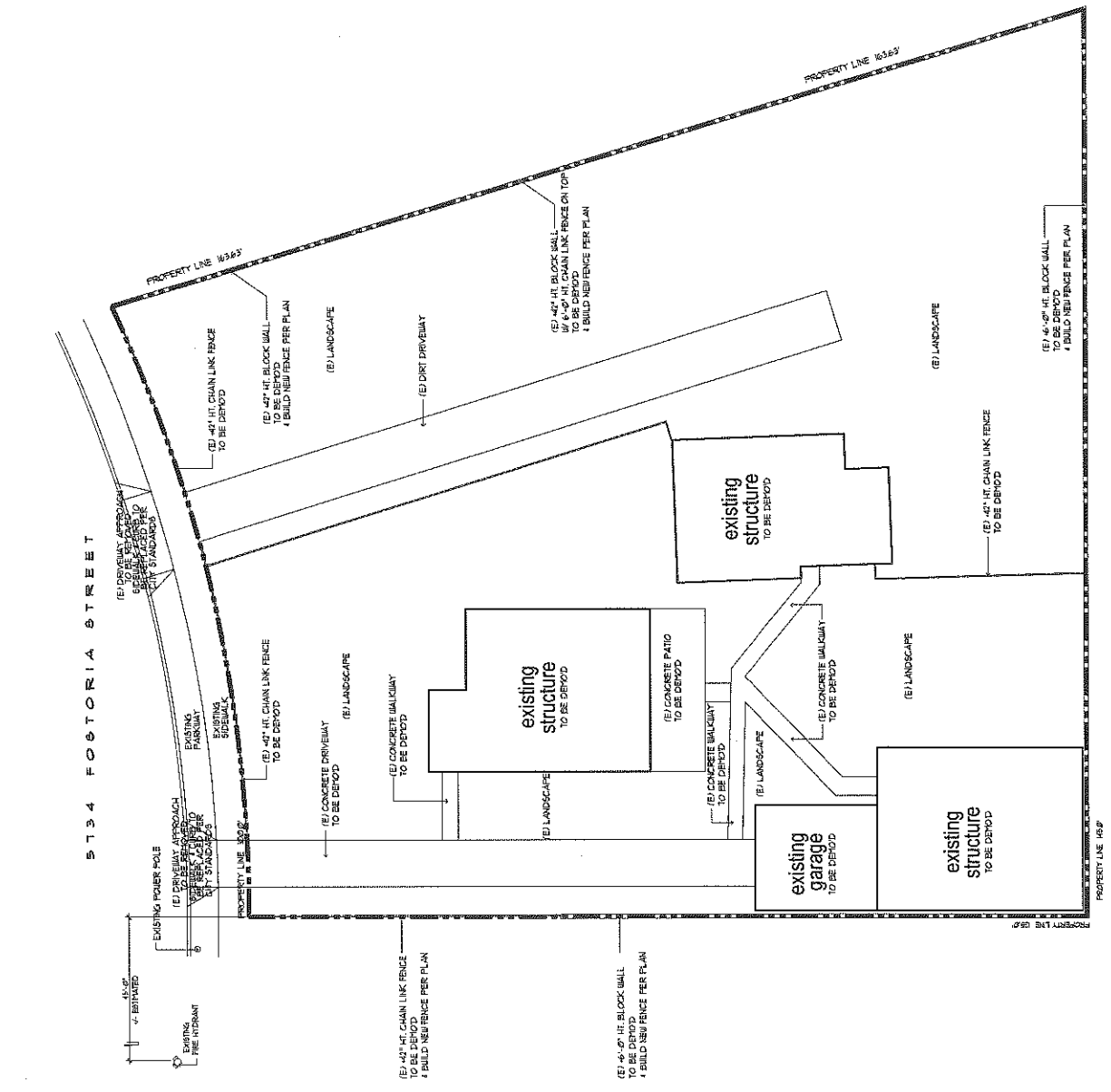


EXHIBIT C

Existing Site Plan



2 existing site plan
SCALE 1/8" = 1'-0"



1 existing site plan
SCALE 1/8" = 1'-0"

CONSULTANT:

OWNER INFORMATION:
 FORT DEVELOPMENT
 10000 W. 100th Street
 Overland Park, MO 66204
 PROJECT LOCATION:
 5134 FOSTORIA ST.
 OVERLAND PARK, MO 66204

ISSUE DATE:

DATE: 11/11/11
 TIME: 10:00 AM
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 APPROVED BY: J. HARRIS
 PROJECT NO: 11-11-11
 SHEET NO: 11-11-11

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DISTANCES ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
 3. ALL CONCRETE SHALL BE 4000 PSI STRENGTH.
 4. ALL FENCES SHALL BE 42\"/>

PROJECT NO: 11-11-11
 SHEET NO: 11-11-11
 DATE: 11/11/11
 TIME: 10:00 AM
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 APPROVED BY: J. HARRIS

SP2

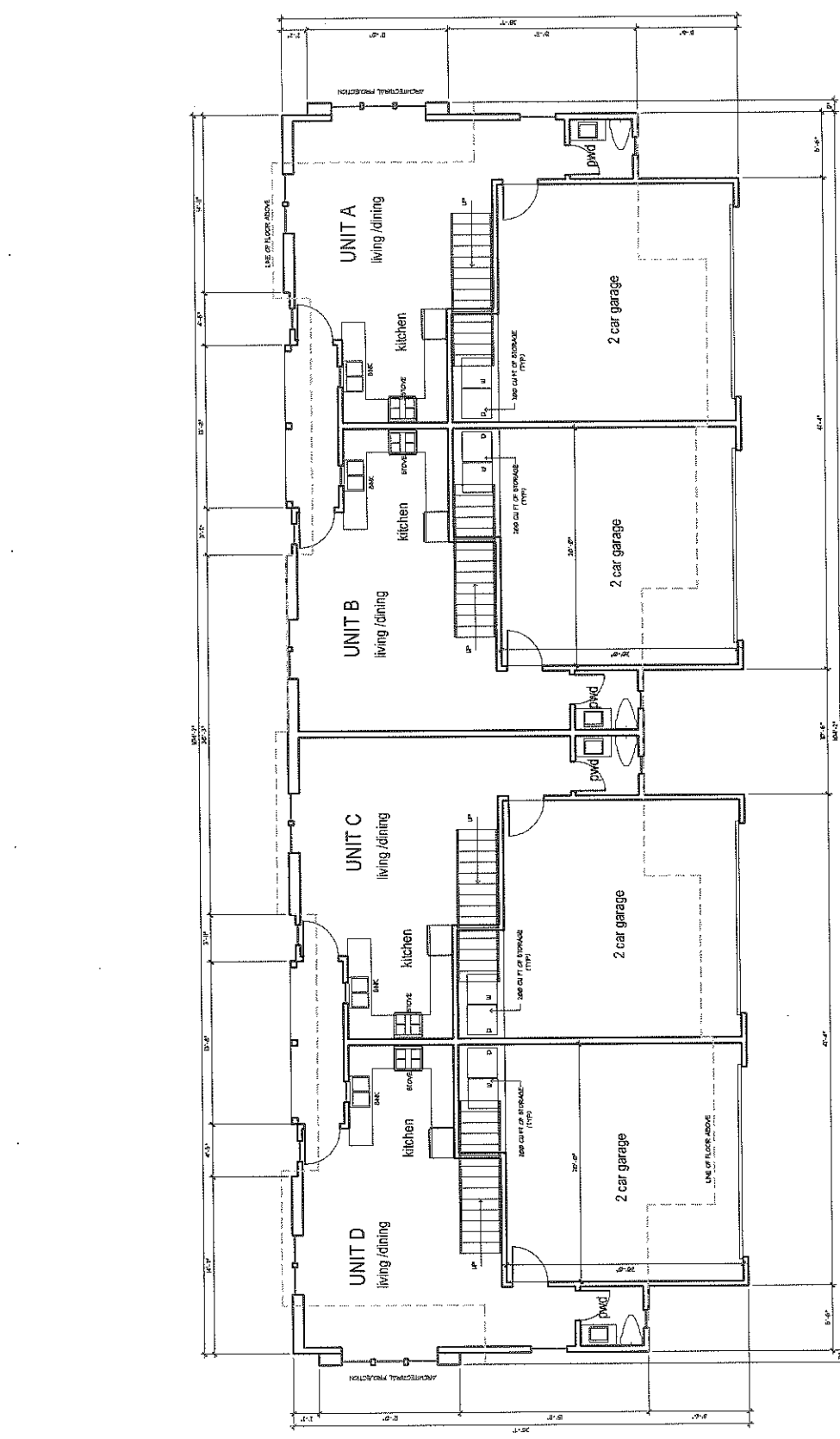
SHEET NO.

EXHIBIT D



Proposed Site Plan

EXHIBIT E

Floor Plan (Building 1)



Building #1
First Floor

 NORTH
 1' first floor plan
 SCALE: 1/8" = 1'-0"

1-A1

SHEET NO.

CONSULTANT:

GENERAL INFORMATION:
 UNIT AREA (SHEET)
 UNIT AREA (TOTAL)
 UNIT AREA (NET)
 UNIT AREA (GROSS)

DATE PLOTTED:

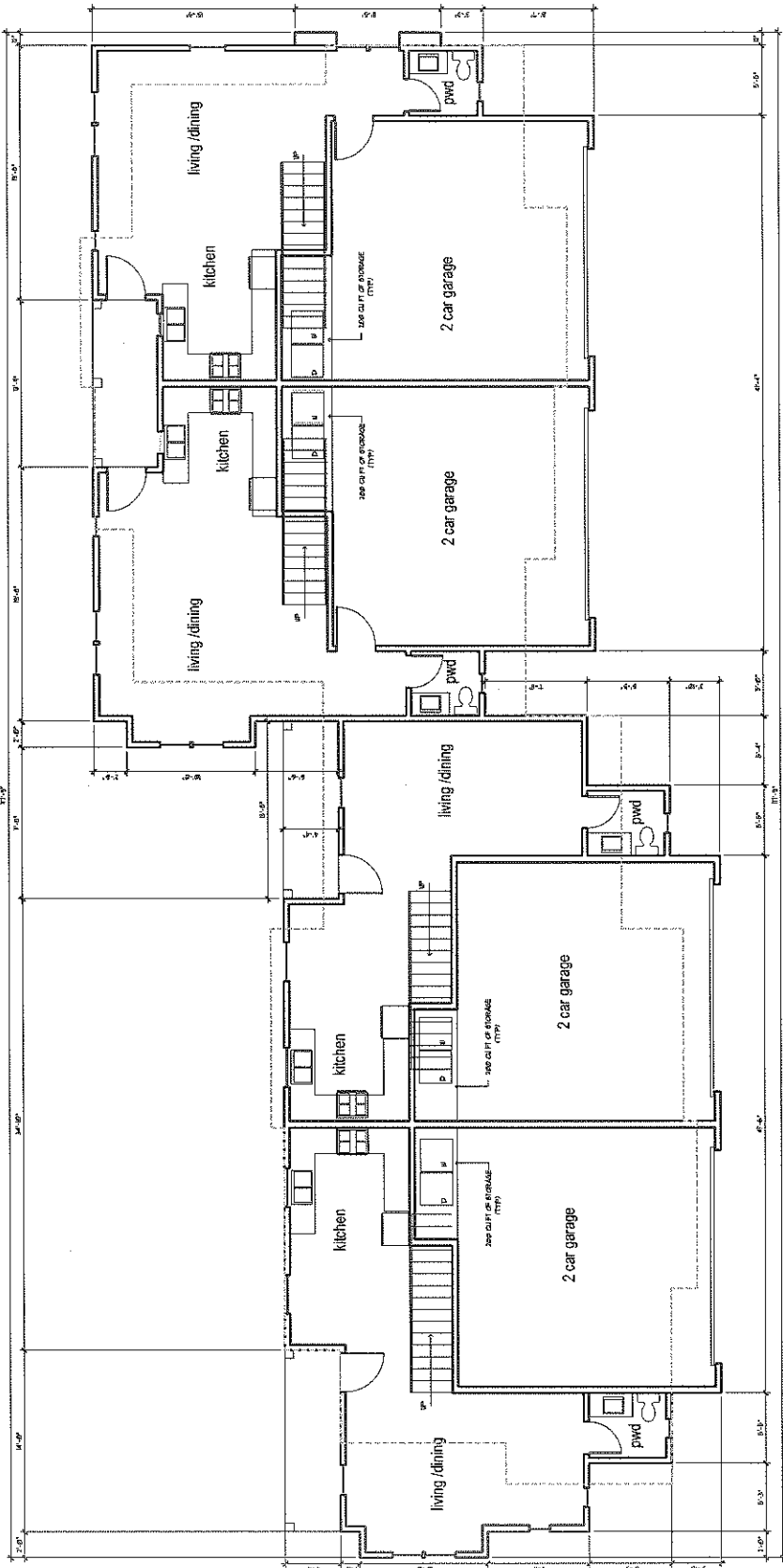
PROJECT LOCATION:
 141 ALABAMA STREET
 BIRMINGHAM, AL 35203

PROJECT NO.:
 141 ALABAMA STREET
 BIRMINGHAM, AL 35203

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EXHIBIT F

Floor Plan (Building 2)



Building #2 First Floor



1 first floor plan
SCALE: 1/8"=1'-0"

BUILDING #2

2-A1

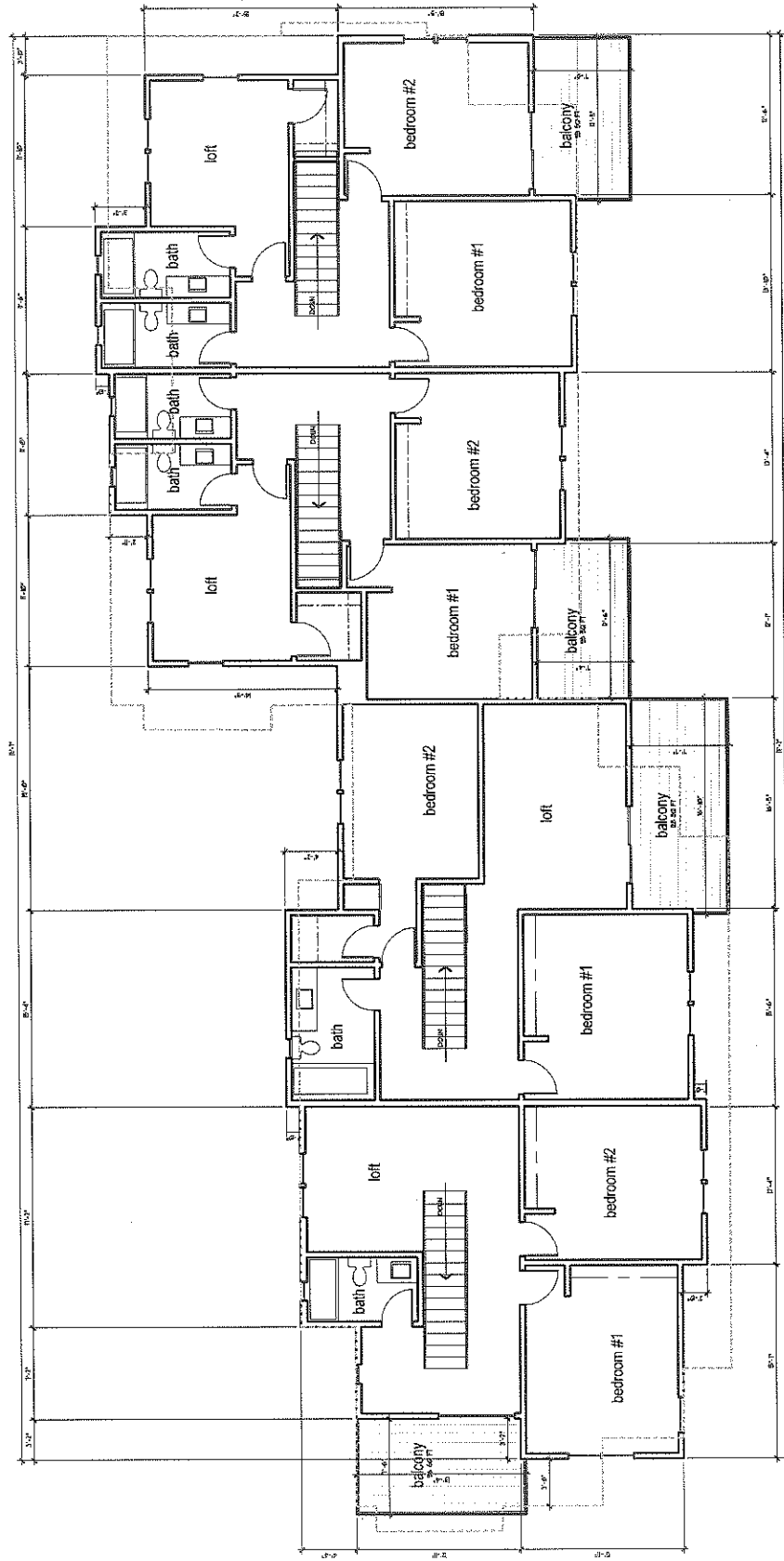
CONSULTANT:

OWNER INFORMATION:
 UNIT DEVELOPER:
 SUBMITTER:
 PROJECT LOCATION:
 PROJECT NUMBER:
 ISSUE DATE:

PREPARED BY:
 CHECKED BY:
 DATE:
 SCALE:
 SHEETS:
 SECOND FLOOR PLAN

7. This plan is not to be used for any other project without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this plan or any other documents prepared by the architect. The architect shall not be responsible for any construction or other work done in accordance with this plan or any other documents prepared by the architect. The architect shall not be responsible for any construction or other work done in accordance with this plan or any other documents prepared by the architect.

SHEET NO.



OWNER INFORMATION:
 UNIT DEVELOPER:
 ARCHITECT:
 PROJECT LOCATION:
 PROJECT NO.:

DATE DATE:

PROJECT NO.:

DATE:

SCALE:

PROJECT NO.:

DATE:

SCALE:

PROJECT NO.:

DATE:

SCALE:

1 SECOND FLOOR PLAN
 BUILDING #2

2-A2

Building #2
 Second Floor

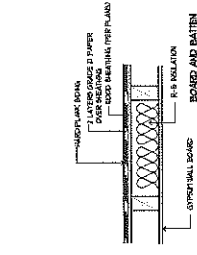
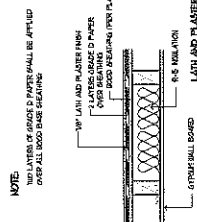
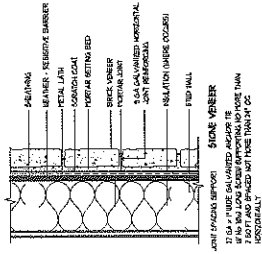
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EXHIBIT G

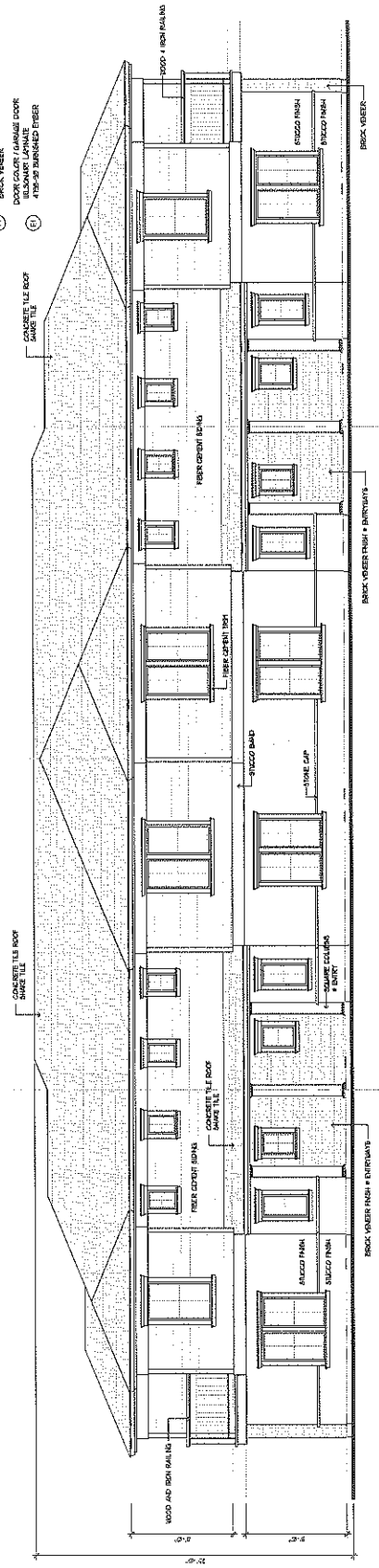
Elevations and Roof Plan (Building 1)

EXTERIOR FINISHES

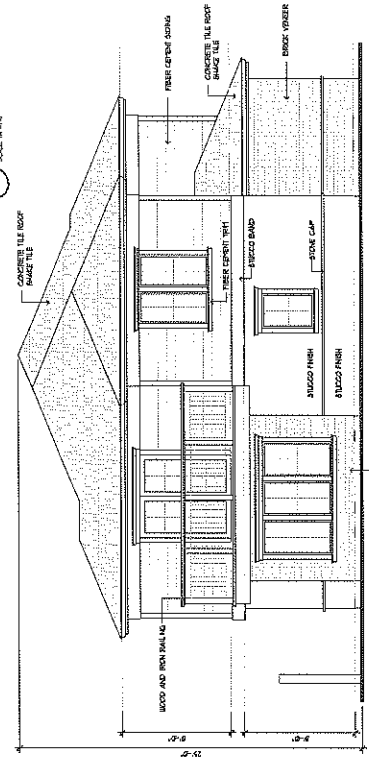
- (A) STUCCO
LA MURSA STUCCO
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1/2" BIR SHAL
1/2" BIR SHAL (5 BASE)
- (B) TERRAZZO
TERRAZZO
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- (C) TERRAZZO
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- (E) TERRAZZO
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- (F) TERRAZZO
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- (G) TERRAZZO
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- (H) TERRAZZO
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- (I) TERRAZZO
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- (J) TERRAZZO
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- (K) TERRAZZO
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- (Q) TERRAZZO
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- (R) TERRAZZO
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- (S) TERRAZZO
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- (T) TERRAZZO
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1/2" BIR SHAL (5 BASE)
- (U) TERRAZZO
TERRAZZO
1/2" THICK
1/2" BIR SHAL
1/2" BIR SHAL (5 BASE)
- (V) TERRAZZO
TERRAZZO
1/2" THICK
1/2" BIR SHAL
1/2" BIR SHAL (5 BASE)
- (W) TERRAZZO
TERRAZZO
1/2" THICK
1/2" BIR SHAL
1/2" BIR SHAL (5 BASE)
- (X) TERRAZZO
TERRAZZO
1/2" THICK
1/2" BIR SHAL
1/2" BIR SHAL (5 BASE)
- (Y) TERRAZZO
TERRAZZO
1/2" THICK
1/2" BIR SHAL
1/2" BIR SHAL (5 BASE)
- (Z) TERRAZZO
TERRAZZO
1/2" THICK
1/2" BIR SHAL
1/2" BIR SHAL (5 BASE)



TYPICAL EXTERIOR WALL DETAIL



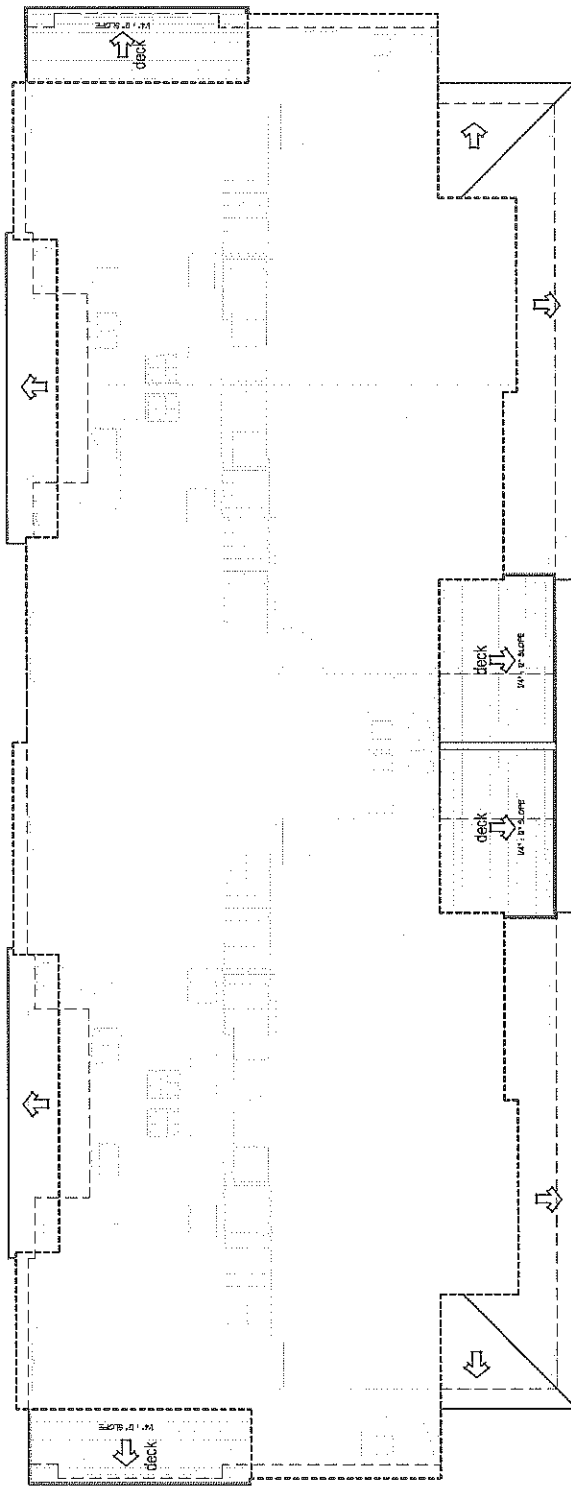
1 WEST ELEVATION
SCALE 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

OWNER INFORMATION
CLIENT DEVELOPER
ARCHITECT
PROJECT LOCATION
ISSUE DATE

The above drawings are prepared for the use of the client and are not to be used for any other purpose without the written consent of the architect. The architect is not responsible for any errors or omissions in these drawings or for any consequences arising from their use. The client is responsible for obtaining all necessary permits and for ensuring that the drawings comply with all applicable codes and regulations.



ROOF SPECIFICATIONS
 PITCH: 1/4" IN 12" ROOF PITCH
 DECKS TO HAVE 1/4" IN 12" SLOPE
 MANUFACTURER'S FLASH ROOFING
 1/2" x 1/2" x 1/2" TILES
 1/2" x 1/2" x 1/2" TILES
 1/2" x 1/2" x 1/2" TILES
 ALL DECKS: 1/2" OVERBAND
 PITCH: 1/4" IN 12" ROOF PITCH

CONTRACTOR:
 PROJECT LOCATION:
 PROJECT NO.:

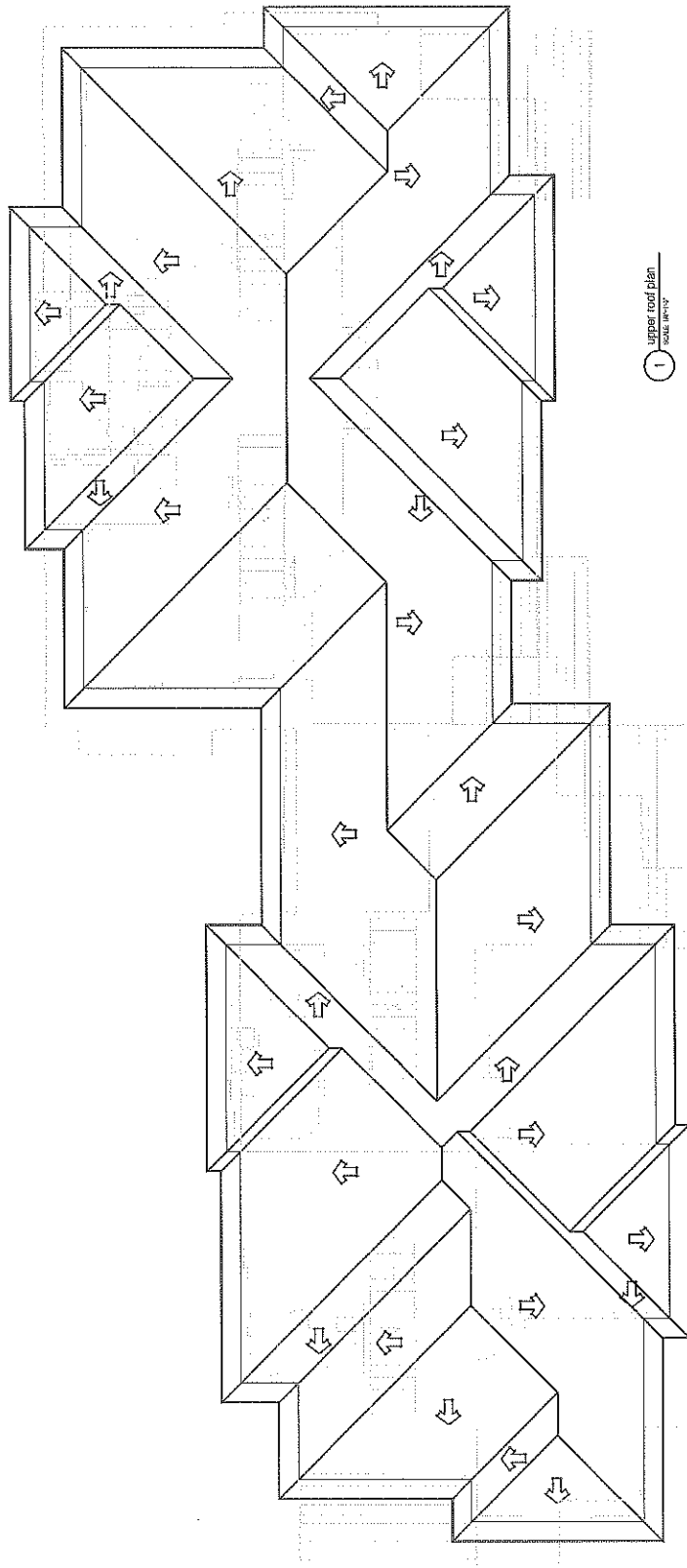
1-A6

BUILDING #1

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EXHIBIT H

Elevations and Roof Plan (Building 2)



ROOF SPECIFICATION
 PITCH: 8:12 ROOF PITCH
 MANUFACTURER: EAGLE ROOFING
 TYPE: 30 YEAR W/ 25 YEAR WARRANTY
 COLOR: CONCRETE
 ROOF DECK: 1/2\"/>

1 UPPER roof plan
 SCALE 1/4"

CONTRACTOR:

OWNER INFORMATION:
 UNIT DEVELOPMENT
 10000 W. 100th Ave.
 Golden, CO 80401
 PROJECT LOCATION:
 10000 W. 100th Ave.
 Golden, CO 80401
 ISSUE DATE:

The undersigned hereby certifies that the above information is true and correct to the best of his knowledge and belief, and that he is a duly licensed professional engineer in the State of Colorado. He further certifies that the above information is true and correct to the best of his knowledge and belief, and that he is a duly licensed professional engineer in the State of Colorado.

PROJECT NO. 10000
 DRAWING NO. 2-A5
 SHEET NO. 1
 UPPER ROOF PLAN

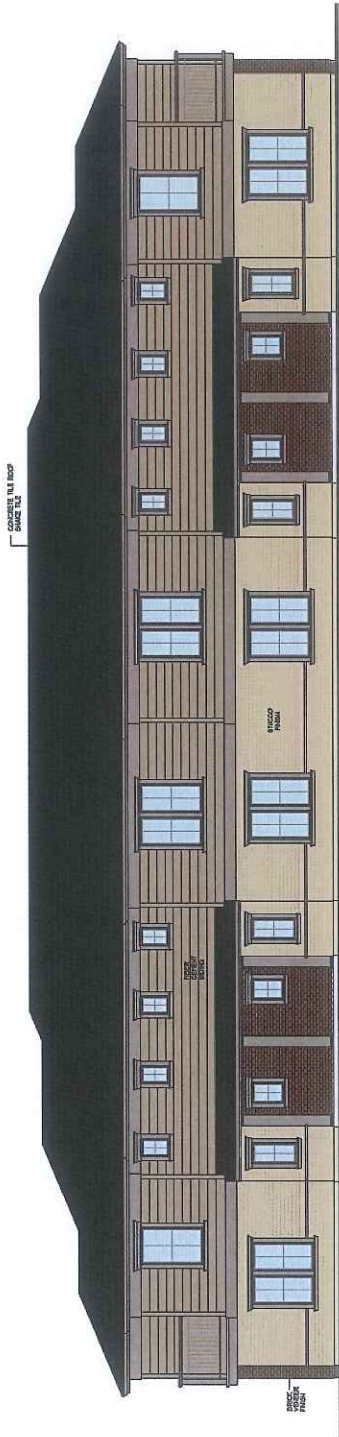
2-A5

BUILDING #2

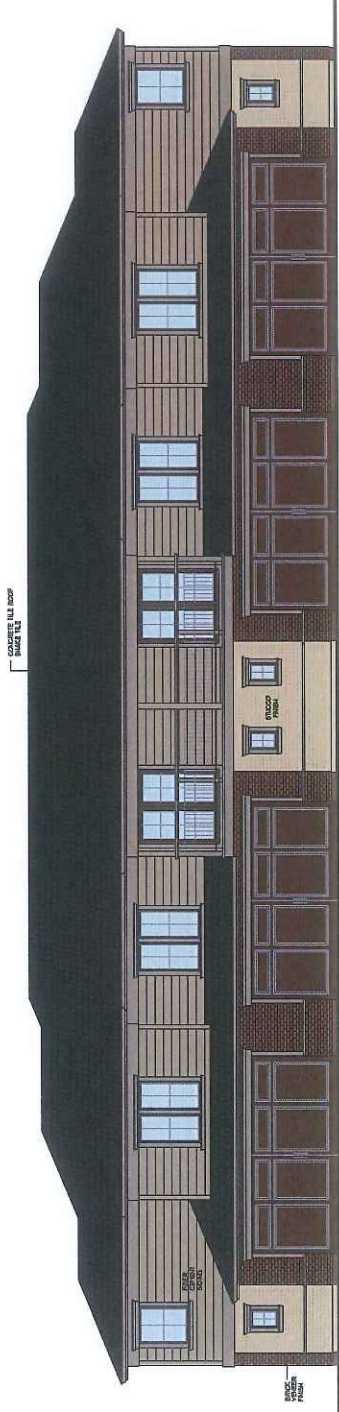
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EXHIBIT I

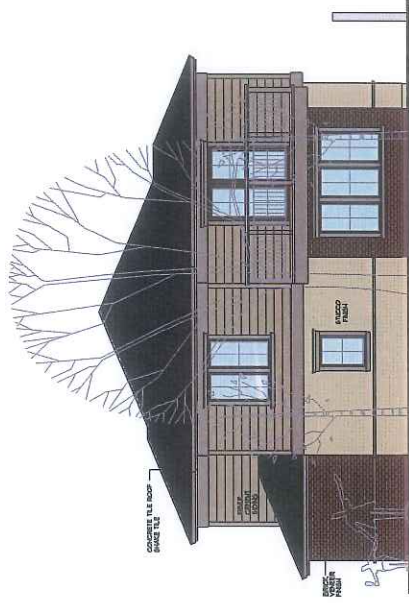
Renditions (Building 1)



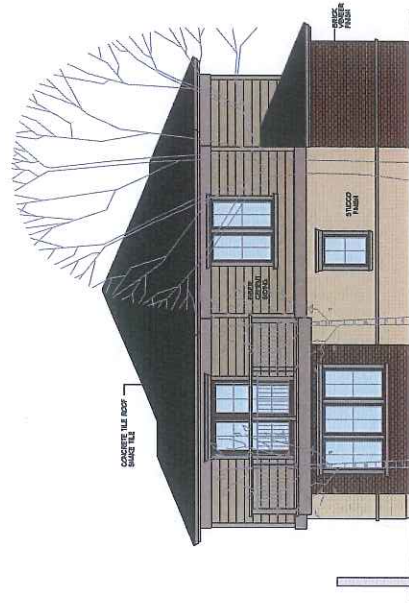
west elevation



east elevation



street elevation
north elevation



north elevation

fostoria gardens
development
8 unit development
building 1
5734 Fostoria Street, Bell Gardens, CA

designer: **FORM STUDIOS**
 20000 Wilshire Blvd, Suite 100
 Los Angeles, CA 90024
 (310) 205-1300
 formstudios.com

owner: **Fostoria Gardens LLC**
 3035 Yorkshire Way
 Rowland Heights, CA 91748
 (626) 261-1853

EXHIBIT J

Renditions (Building 2)



west elevation



east elevation



north elevation



street elevation
south elevation

fostoria gardens
development
8 unit development
building 1

5734 Fostoria Street, Bell Gardens, CA

owner:
Fostoria Gardens LLC
3035 Yorkshire Way
Roslindale Heights, CA 91748

designer:
FORM STUDIO
ARCHITECTS
10000 Wilshire Blvd
Suite 1000
Los Angeles, CA 90024
Tel: 310.413.1111
www.formstudio.com

EXHIBIT K

Public Hearing Notice

**CITY OF BELL GARDENS
NOTICE OF PUBLIC HEARING
SITE PLAN REVIEW NO. 2017-021
VARIANCE NO. 2017-021
(FILE NO. 2017-021)**

POSTED
JUN 8 11 17 AM '17
ES

Notice is hereby given that the Planning Commission of the City of Bell Gardens will hold a public hearing to consider Site Plan Review No. 2017-021 and Variance No. 2017-021 to allow the development of an eight unit residential apartment project at 5734 Fostoria Street, Bell Gardens, CA 90201. Variance No. 2017-021 is being requested to allow the development of the property with the reduction in minimum common area open space required under Section 9.10.040 of the Bell Gardens Municipal Code. The subject site is zoned R-3 (High Density Residential) and designated by the General Plan as "High Density Residential."

In accordance with the provisions and guidelines of the California Environmental Quality Act ("CEQA"), the project qualifies for a Class 32 Categorical Exemption pursuant to Section 15332 (In-Fill Development) and a Class 3 Categorical Exemption pursuant to Section 15303(b) (New Construction or Conversion of Small Structures) of the State CEQA Guidelines.

The subject property is identified in the Los Angeles County Assessor's Book No. 6227, Page 032, Parcel 026.

The public hearing will be held before the Planning Commission of the City of Bell Gardens, in Council Chambers at City Hall, 7100 Garfield Avenue, Bell Gardens, CA 90201, on Wednesday, June 21, 2017 at 6:00 P.M., at which time proponents and opponents of the proposed Site Plan Review and Variance will be heard. Questions may be directed to the Community Development Department at (562) 806-7700, extension 7722.

Per Government Code Section 65009, if you challenge this Site Plan Review and Variance in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission or prior to the public hearing.

THE PLANNING COMMISSION

Tony Rivera, Chairperson

Published: Bell Gardens Sun, June 8, 2017

Posted: June 8, 2017

Bell Gardens City Hall

Bell Gardens John Anson Ford Park

Bell Gardens Veterans Park – Ross Hall Auditorium

Bell Gardens Department of Public Works